

# Chapter 4 Building Provisions

## 4.01 Purpose

This Chapter regulates different physical forms of buildings within each zoning district, creating variation in the urban environment within an appropriate scale. The following regulations apply in addition to the development standards for each zoning district. In the case of conflict, the more restrictive regulation shall prevail.

## 4.02 Applicability

**4.02.01 Districts.** The requirements of this Chapter apply in Mixed Use Districts only, as listed in the table below. Building Type provisions do not apply in any other zoning districts, inclusive of those districts categorized as Commercial Districts, Industrial Districts, Residential Districts, or Use-Specific Districts.

**4.02.02 Uses.** Within the Mixed Use Districts as prescribed above, the provisions of this Chapter shall only apply to the following:

- A. Principal buildings containing any principal use, or combination thereof; and
- B. Accessory buildings containing an accessory dwelling unit.

**4.02.03 Projects.** As pertaining to those districts and uses as prescribed above, the provisions of this Chapter shall only apply in situations involving new building construction, additions to existing buildings, or changes in use. The provisions of this Chapter do not apply in situations involving interior alterations of existing buildings or uses, minor exterior alterations which do not result in building expansions or changes in use, or other site-related changes which do not involve buildings (parking, landscaping, parking, signs, etc.).

## 4.03 Procedures

**4.03.01 Applicant Selection of Building and Frontage Types.** In the case of any applicable project, the applicant shall propose which Building Type(s) correspond to the building(s) proposed for construction or alteration, and shall identify the allowed Frontage Type(s) to be used in conjunction with the selected Building Type.

**4.03.02 Zoning Administrator Authority.** The Zoning Administrator shall have the authority to interpret and apply the provisions of this Chapter in determining whether the proposed design is consistent with the Building Type(s) and Frontage Type(s) selected by the applicant, or whether it more appropriately corresponds to one or more different categories of Building Type(s) and/or Frontage Type(s). The Zoning Administrator shall use the descriptions, images, and guidelines established in this Chapter when making determinations on which Building Type(s) and Frontage Type(s) apply to a given project.

**4.03.03 Interpretation of Building Types.** The names of the individual Building Types are not intended to either limit, or expand, the principal or accessory uses which are allowed within each. Refer to the Building Type standards for a list of prescribed allowable land uses within each Building Type.

**4.03.04 Interpretation of Frontage Types.** Any building constructed or altered may possess characteristics of more than one allowable Frontage Type. For example, a storefront may be adjacent to a terrace; or, a porch may be contained within a forecourt. Unless otherwise specified, Frontage Types are only applicable to primary façades, which most often will be the façade(s) fronting upon, or oriented toward, a street or streets.

## 4.04 Schedule of Building Types

Building Types	Stories (max.)	Height (max.)	Footprint (max.)	Urban Districts						Uptown Districts	
				N1	N2	N3	N4	N5	MU	T	C
Cottage	1.5 stories	24 ft	800 sq ft	P	P	P	P	P		P	
Carriage House	2 stories	30 ft	800 sq ft	P	P	P	P	P		P	
Bungalow	1.5 stories	24 ft	1,000 sq ft	P	P	P	P	P		P	
Bungalow Court	1.5 stories	24 ft	1,000 sq ft / unit		P						
House	2.5 stories	35 ft	3,000 sq ft	P	P	P	P	P		P	
Duplex, Stacked	2.5 stories	35 ft	2,000 sq ft	P	P	P	P	P		P	
Duplex, Side-by-Side	2.5 stories	35 ft	2,000 sq ft	P	P	P	P	P		P	
Triplex	2.5 stories	35 ft	3,000 sq ft		P		P	P		P	
Apartment House	3 stories	35 ft	4,000 sq ft		P			P	P		
Apartment Building	3.5 stories	35 ft	20,000 sq ft						P		
Rowhouse	3 stories	35 ft	1,200 sq ft / unit		P			P	P	P	
Large House	3 stories	35 ft	7,000 sq ft					P			
Shop	1 story	20 ft	3,000 sq ft	P	P	P	P	P	P	P	P
Maker Space	1 story	24 ft	5,000 sq ft						P	P	
Mixed Use Building, Small	2.5 stories	35 ft	5,000 sq ft	P	P		P	P	P	P	P
General Purpose Building	3 stories	35 ft	5,000 sq ft		P			P	P	P	P
Theater	2 stories	35 ft	10,000 sq ft						P		P
Hotel, Neighborhood-Scale	2.5 stories	35 ft	12,000 sq ft					P	P	P	P
Hotel, Urban-Scale	4 stories	48 ft	20,000 sq ft								P
Parking Garage, Active Frontage	4 stories	48 ft	30,000 sq ft						P	P	P
Parking Garage, Standard	4 stories	48 ft	30,000 sq ft						P		P
Mixed Use Building, Large	4 stories	48 ft	20,000 sq ft						P		P
Landmark, Commercial	4 stories	48 ft	20,000 sq ft						P		P
Landmark, Civic/Institutional	4 stories	48 ft	30,000 sq ft	P	P	P	P	P	P	P	P

**KEY:**   Shaded Cell = Prohibited P Cell with P = Permitted \* Special Exceptions apply. See Building Type standards.

## 4.05 Building Type: Cottage



**4.05.01 Description.** The Cottage is a small, detached residential building intended to reinforce the character of traditional neighborhoods through modest scale, compact footprint, and simple form. This Building Type supports affordability and diversity in housing options while maintaining a human-scaled presence on the block.

### 4.05.02 Allowable Uses.

Accessory Dwelling Unit (ADU)*	Accessory Use	See Sec. XXXX
Single-Unit Dwelling*	Principal Use in Residential Uses Category	See Sec. XXXX
Commercial Use	Any Principal Use in Commercial Uses Category	See Sec. XXXX

\*When one of these uses is selected, the building may contain only that use and no other use.

### 4.05.03 Allowable Frontage Types.

Door Surround	See Sec. 4.30	Stoop	See Sec. 4.31
Porch	See Sec. 4.32		

### 4.05.04 Regulations.

Building Footprint	800 sq ft max.
Building Foundation	Any concrete foundation greater than 2 feet in height shall be parged
Building Height	24 ft max. 1.5 stories max.
Building Orientation	Primary entrance must face the street, unless the building serves an Accessory role
Building Role	Principal or Accessory

### 4.05.05 Architectural Guidelines.

Exterior Materials	Brick or fiber cement siding encouraged Any siding should either be horizontal or vertical (e.g. board and batten), not diagonal
Fenestration	Should be at least 15% on primary façade
Roof Pitch	Should be somewhere in the 6:12 to 12:12 range
Windows	Should be vertically proportioned Should have defined trim and/or “punched through” appearance

## 4.06 Building Type: Carriage House



**4.06.01 Description.** A Carriage House is an accessory structure typically located at the rear of a lot, designed as a small residential dwelling, home office space, or small business space located above a garage. The inclusion of a garage element distinguishes this Building Type from a Cottage. Carriage Houses provide affordable housing opportunities within walkable neighborhoods.

### 4.06.02 Allowable Uses.

Accessory Dwelling Unit (ADU)	Accessory Use	See Sec. XXXX
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### 4.06.03 Allowable Frontage Types.

Door Surround*	See Sec. 4.30
Stoop*	See Sec. 4.31

\*These frontage types apply only to the door accessing the unit above the garage. It is expected for garage doors (either one-car or two-car in overall width) to take up the majority of at least one façade at ground level.

### 4.06.04 Regulations.

Building Footprint	800 sq ft max.
Building Foundation	Any concrete foundation greater than 2 feet in height shall be parged
Building Height	30 ft max. 2 stories max.
Building Role	Accessory only

### 4.06.05 Architectural Guidelines.

Exterior Materials	Brick or fiber cement siding encouraged Any siding should either be horizontal or vertical (e.g. board and batten), not diagonal
Fenestration	Window glazing expected to be less than a Cottage due to presence of garage door
Roof Pitch	Should either be generally flat, or somewhere in the 6:12 to 12:12 range
Windows	Should be vertically proportioned Should have defined trim and/or “punched through” appearance

## 4.07 Building Type: Bungalow



**4.07.01 Description.** A Bungalow is a small freestanding structure containing a single principal residential use. This Building Type may be accessed from the alley or from a driveway off of the street. Accessory garages may be attached or detached.

### 4.07.02 Allowable Uses.

Single-Unit Dwelling	Principal Use in Residential Uses Category	See Sec. XXXX
Residential Facility, Small	Principal Use in Residential Uses Category	See Sec. XXXX

### 4.07.03 Allowable Frontage Types.

Door Surround	See Sec. 4.30	Stoop	See Sec. 4.31
Porch	See Sec. 4.32		

### 4.07.04 Regulations.

Building Footprint	1,000 sq ft max.
Building Foundation	Any concrete foundation greater than 2 feet in height shall be parged
Building Height	24 ft max.
	1.5 stories max.
Building Orientation	Primary entrance must face the street
Building Role	Principal only

### 4.07.05 Architectural Guidelines.

Exterior Materials	Brick or fiber cement siding encouraged
	Any siding should either be horizontal or vertical (e.g. board and batten), not diagonal
Fenestration	Should be at least 15% on primary façade facing street
Roof Pitch	Should be somewhere in the 4:12 to 10:12 range
Windows	Should be vertically proportioned
	Should have defined trim and/or “punched through” appearance

## 4.08 Building Type: Bungalow Court



**4.08.01 Description.** A Bungalow Court consists of a series of small, detached buildings arranged to define a shared courtyard that is typically perpendicular to the street as well as being either partially or wholly open to the street. This Building Type is appropriately scaled to fit within primarily single unit or medium-density neighborhoods.

### 4.08.02 Allowable Uses.

Single-Unit Dwellings	Principal Use in Residential Uses Category	See Sec. XXXX
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### 4.08.03 Allowable Frontage Types.

Door Surround	See Sec. 4.30	Stoop	See Sec. 4.31
Porch	See Sec. 4.32		

### 4.08.04 Regulations.

Building Footprint	1,000 sq ft max., per dwelling unit
Building Foundation	Any concrete foundation greater than 2 feet in height shall be parged
Building Height	24 ft max. 1.5 stories max.
Building Orientation	Primary entrances must all be oriented toward a central green or common space
Building Separation	5 feet min. between bungalows 15 feet max. between bungalows
Building Role	Principal only
Courtyard Depth	55 feet min., as measured from primary street abutting site
Courtyard Width	20 feet min. 30 feet max.

### 4.08.05 Architectural Guidelines.

Exterior Materials	Brick or fiber cement siding encouraged Any siding should either be horizontal or vertical (e.g. board and batten), not diagonal
Fenestration	Should be at least 15% on primary façades facing courtyard
Roof Pitch	Should be somewhere in the 4:12 to 10:12 range
Windows	Should be vertically proportioned Should have defined trim and/or “punched through” appearance

## 4.09 Building Type: House



**4.09.01 Description.** A House is a small to medium-sized freestanding structure, typically containing a single residential unit, or at the very least its outward appearance implies residential use. This Building Type may be accessed from the alley or from a driveway off of the street. Accessory garages may be attached or detached.

### 4.09.02 Allowable Uses.

Single-Unit Dwelling	Principal Use in Residential Uses Category	See Sec. XXXX
Lodging House, Small	Principal Use in Residential Uses Category	See Sec. XXXX
Lodging House, Medium	Principal Use in Residential Uses Category	See Sec. XXXX
Residential Facility, Small	Principal Use in Residential Uses Category	See Sec. XXXX
Public or Institutional Use	Any Principal Use in Public & Institutional Uses Category	See Sec. XXXX

### 4.09.03 Allowable Frontage Types.

Door Surround	See Sec. 4.30	Porch	See Sec. 4.32
Gallery, Upper	See Sec. 4.33	Stoop	See Sec. 4.31

### 4.09.04 Regulations.

Building Footprint	3,000 sq ft max.
Building Foundation	Any concrete foundation greater than 2 feet in height shall be parged
Building Height	35 ft max. 2.5 stories max.
Building Orientation	Primary entrance must face the street
Building Role	Principal only

### 4.09.05 Architectural Guidelines.

Exterior Materials	Brick or fiber cement siding encouraged Any siding should either be horizontal or vertical (e.g. board and batten), not diagonal
Fenestration	Should be at least 20% on primary façade facing street
Roof Pitch	Main roof pitch should be somewhere in the 6:12 to 12:12 range
Windows	Should be vertically proportioned Should have defined trim and/or “punched through” appearance

## 4.10 Building Type: Duplex, Stacked



**4.10.01 Description.** A Stacked Duplex consists of two stacked dwelling units within a single building mass, resembling a detached house. The two units may be accessed via a single primary entrance facing the street which offers access to a common hallway/stairwell, or via two separate exterior entrances facing the street (one for each unit).

### 4.10.02 Allowable Uses.

Two-Unit Dwelling	Principal Use in Residential Uses Category	See Sec. XXXX
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### 4.10.03 Allowable Frontage Types.

Door Surround	See Sec. 4.30	Porch	See Sec. 4.32
Gallery, Upper	See Sec. 4.33	Stoop	See Sec. 4.31

### 4.10.04 Regulations.

Building Footprint	2,000 sq ft max.
Building Foundation	Any concrete foundation greater than 2 feet in height shall be parged
Building Height	35 ft max. 2.5 stories max.
Building Orientation	Primary entrance(s) must face the street
Building Role	Principal only

### 4.10.05 Architectural Guidelines.

Exterior Materials	Brick or fiber cement siding encouraged Any siding should either be horizontal or vertical (e.g. board and batten), not diagonal
Fenestration	Should be at least 20% on primary façade facing street
Roof Pitch	Main roof pitch should be somewhere in the 6:12 to 12:12 range
Windows	Should be vertically proportioned Should have defined trim and/or “punched through” appearance

## 4.11 Building Type: Duplex, Side-by-Side



**4.11.01 Description.** A Side-by-Side Duplex consists of two dwelling units situated adjacent to one another within a single building mass, resembling a detached house. The two units are typically accessed via two separate exterior entrances facing the street (one for each unit), with the layout of each unit offering its own set of stairs to access the upper floor(s).

### 4.11.02 Allowable Uses.

Two-Unit Dwelling	Principal Use in Residential Uses Category	See Sec. XXXX
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### 4.11.03 Allowable Frontage Types.

Door Surround	See Sec. 4.30	Porch	See Sec. 4.32
Gallery, Upper	See Sec. 4.33	Stoop	See Sec. 4.31

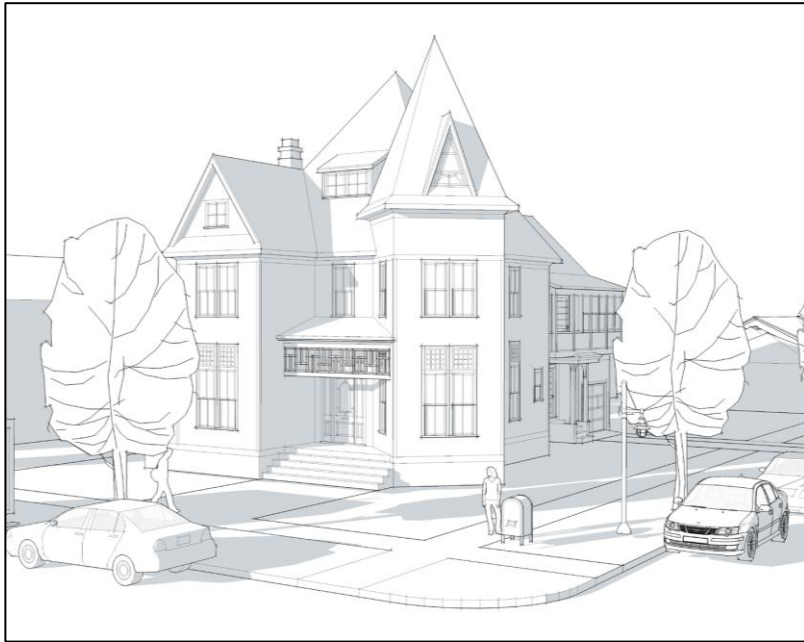
### 4.11.04 Regulations.

Building Footprint	2,000 sq ft max.
Building Foundation	Any concrete foundation greater than 2 feet in height shall be parged
Building Height	35 ft max. 2.5 stories max.
Building Orientation	Primary entrance to each unit must face the street
Building Role	Principal only

### 4.11.05 Architectural Guidelines.

Exterior Materials	Brick or fiber cement siding encouraged Any siding should either be horizontal or vertical (e.g. board and batten), not diagonal
Fenestration	Should be at least 20% on primary façade facing street
Roof Pitch	Main roof pitch should be somewhere in the 6:12 to 12:12 range
Windows	Should be vertically proportioned Should have defined trim and/or “punched through” appearance

## 4.12 Building Type: Triplex



**4.12.01 Description.** A Triplex is a residential building containing three dwelling units arranged side-by-side, stacked vertically, or a combination of these arrangements. This Building Type is compatible with House and Duplex forms, making it well-suited for neighborhood infill. Each dwelling unit typically has its own dedicated entry, either directly from the street or from a shared porch or stair.

### 4.12.02 Allowable Uses.

Three-Unit Dwelling	Principal Use in Residential Uses Category	See Sec. XXXX
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### 4.12.03 Allowable Frontage Types.

Door Surround	See Sec. 4.30	Porch	See Sec. 4.31
Gallery, Upper	See Sec. 4.33	Stoop	See Sec. 4.32

### 4.12.04 Regulations.

Building Footprint	3,000 sq ft max.
Building Foundation	Any concrete foundation greater than 2 feet in height shall be parged
Building Height	35 ft max. 2.5 stories max.
Building Orientation	Primary entrances to each unit must face the street
Building Role	Principal only

### 4.12.05 Architectural Guidelines.

Exterior Materials	Brick or fiber cement siding encouraged Any siding should either be horizontal or vertical (e.g. board and batten), not diagonal
Fenestration	Should be at least 20% on primary façade(s) facing street
Roof Pitch	Main roof pitch should be somewhere in the 6:12 to 12:12 range
Windows	Should be vertically proportioned Should have defined trim and/or “punched through” appearance

## 4.13 Building Type: Apartment House



**4.13.01 Description.** An Apartment House is a medium-sized structure that typically consists of three or four side-by-side and/or stacked dwelling units, with a single shared entry. This Building Type has the appearance of a large family home and is appropriately scaled to fit within primarily single unit neighborhoods or into medium-density neighborhoods.

### 4.13.02 Allowable Uses.

Three-Unit Dwelling	Principal Use in Residential Uses Category	See Sec. XXXX
Four-Unit Dwelling	Principal Use in Residential Uses Category	See Sec. XXXX

### 4.13.03 Allowable Frontage Types.

Door Surround	See Sec. 4.30	Porch	See Sec. 4.32
Forecourt	See Sec. 4.34	Stoop	See Sec. 4.31

### 4.13.04 Regulations.

Building Footprint	4,000 sq ft max.
Building Foundation	Any concrete foundation greater than 2 feet in height shall be parged
Building Height	35 ft max.
	2 stories min.
	3 stories max.
Building Orientation	All units must be accessed via a single main entrance facing the street
Building Role	Principal only

### 4.13.05 Architectural Guidelines.

Exterior Materials	Brick, masonry, or fiber cement siding encouraged
	Any siding should either be horizontal or vertical (e.g. board and batten), not diagonal
Fenestration	Should be at least 25% on primary façade facing street
Roof Pitch	Should be generally flat, excepting any sloped architectural elements such as parapets
Windows	Should be vertically proportioned
	Should have defined trim and/or “punched through” appearance

## 4.14 Building Type: Apartment Building



**4.14.01 Description.** An Apartment Building is a multi-unit residential structure with shared entries, hallways, and stairs. Units are typically accessed from interior corridors, with common open space provided in rear yards or courtyards. The building is larger in footprint than an Apartment House but is still designed to relate to the street with articulated façades and clear front entrance(s).

### 4.14.02 Allowable Uses.

Multi-Unit Dwelling	Principal Use in Residential Uses Category	See Sec. XXXX
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### 4.14.03 Allowable Frontage Types.

Door Surround	See Sec. 4.30	Lobby	See Sec. 4.36
Forecourt	See Sec. 4.34	Stoop	See Sec. 4.31
Gallery, Upper	See Sec. 4.33	Terrace	See Sec. 4.35

### 4.14.04 Regulations.

Building Footprint	20,000 sq ft max.
Building Foundation	Any concrete foundation greater than 2 feet in height shall be parged
Building Height	35 ft max.
	2 stories min. 3.5 stories max.
Building Orientation	Entrance(s) must face the street
Building Role	Principal only

### 4.14.05 Architectural Guidelines.

Exterior Materials	Brick or fiber cement siding encouraged
	Any siding should either be horizontal or vertical (e.g. board and batten), not diagonal
Fenestration	Should be at least 30% on primary façade(s) facing street
Roof Pitch	Should either be generally flat, or somewhere in the 6:12 to 12:12 range
Windows	Should be vertically proportioned
	Should have defined trim and/or “punched through” appearance

## 4.15 Building Type: Rowhouse



**4.15.01 Description.** A Townhouse is a structure consisting of at least four dwelling units attached side-by-side. When not centrally owned/managed, ownership may be divided among narrow lots sharing party walls. Each dwelling unit has an individual exterior entrance along the street. Accessory garages may be attached or detached.

### 4.15.02 Allowable Uses.

Multi-Unit Dwelling	Principal Use in Residential Uses Category	See Sec. XXXX
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### 4.15.03 Allowable Frontage Types.

Door Surround	See Sec. 4.30
Stoop	See Sec. 4.31

### 4.15.04 Regulations.

Building Footprint	1,200 sq ft max., per dwelling unit
Building Foundation	Any concrete foundation greater than 2 feet in height shall be parged
Building Height	35 ft max.
	2 stories min.
	3 stories max.
Building Orientation	Each dwelling unit has its own exterior entrance facing the street
Building Role	Principal only

### 4.15.05 Architectural Guidelines.

Exterior Materials	Brick or fiber cement siding encouraged
	Any siding should either be horizontal or vertical (e.g. board and batten), not diagonal
Fenestration	Should be at least 30% on primary façades facing street
Roof Pitch	Should either be generally flat, or somewhere in the 4:12 to 8:12 range
Windows	Should be vertically proportioned
	Should have defined trim and/or “punched through” appearance

## 4.16 Building Type: Large House



**4.16.01 Description.** A Large House is a freestanding residential structure built at a greater scale than a House. This Building Type is reserved for special or unique residentially themed uses, such as fraternities, sororities, and assisted living facilities.

### 4.16.02 Allowable Uses.

Lodging House, University-Recognized	Principal Use in Residential Uses Category	See Sec. XXXX
Assisted Living Facilities, Nursing Homes, or Hospice Care	Principal Use in Residential Uses Category	See Sec. XXXX

### 4.16.03 Allowable Frontage Types.

Door Surround	See Sec. 4.30	Porch	See Sec. 4.32
Gallery, Upper	See Sec. 4.33	Stoop	See Sec. 4.31

### 4.16.04 Regulations.

Building Footprint	7,000 sq ft max.
Building Foundation	Any concrete foundation greater than 2 feet in height shall be parged
Building Height	35 ft max. 3 stories max.
Building Orientation	Entrance(s) must face the street
Building Role	Principal only

### 4.16.05 Architectural Guidelines.

Exterior Materials	Brick, stone and/or masonry encouraged
Fenestration	Should be at least 20% on primary façade(s) facing street
Roof Pitch	Main roof pitch should be somewhere in the 6:12 to 12:12 range
Windows	Should be vertically proportioned Should have defined trim and/or “punched through” appearance

## 4.17 Building Type: Shop



**4.17.01 Description.** A Shop is a small commercial building intended for retail, service, or food uses, often embedded within a residential neighborhood setting. Shops are one story, with storefront windows and a direct pedestrian entrance oriented to the sidewalk. Their scale makes them appropriate for supporting walkability and small businesses.

### 4.17.02 Allowable Uses.

Commercial Use	Any Principal Use in Commercial Uses Category	See Sec. XXXX
Public or Institutional Use	Any Principal Use in Public & Institutional Uses Category	See Sec. XXXX

### 4.17.03 Allowable Frontage Types.

Storefront*	*Storefront required on primary facade	See Sec. 4.37
Terrace		See Sec. 4.35

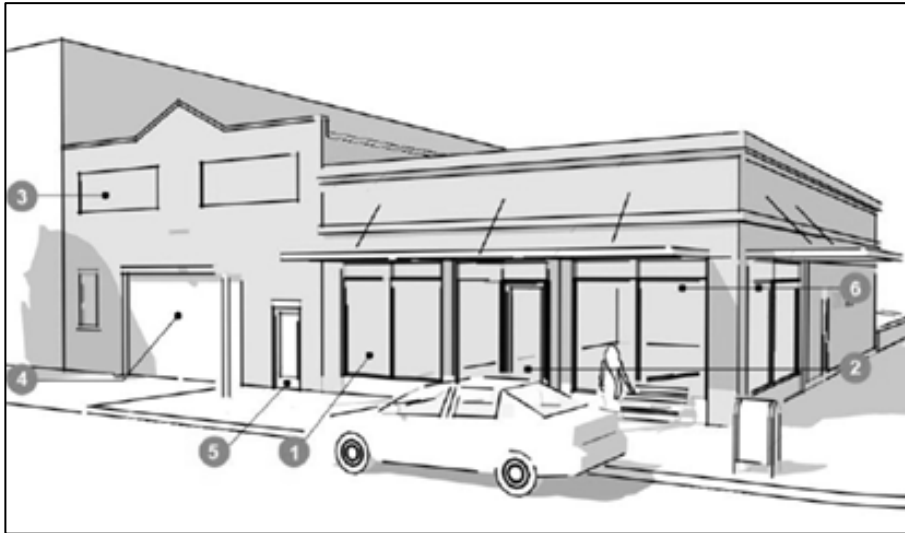
### 4.17.04 Regulations.

Building Footprint	3,000 sq ft max.
Building Foundation	Any concrete foundation greater than 2 feet in height shall be parged
Building Height	20 ft max. 1 story max.
Building Orientation	Entrance must face the street, unless the role is as an Accessory Building
Building Role	Principal only

### 4.17.05 Architectural Guidelines.

Exterior Materials	Brick, stone and/or masonry encouraged
Fenestration	Should be at least 60% on primary façade facing street Any other façade which directly fronts upon a street should, in the absence of fenestration/glazing, alleviate the appearance of large blank walls through articulation, faux windows, or other architecturally creative means to add visual interest
Roof Pitch	Should be generally flat

## 4.18 Building Type: Maker Space



**4.18.01 Description.** A Maker Space is a small-scale production or creative workshop building designed to accommodate artisans, brewing or distilling, light manufacturing, or studio work. It typically features flexible interiors, large openings for loading or display, and a simple form compatible with neighborhood settings. Maker Spaces can contribute to an active frontage while supporting local entrepreneurship.

### 4.18.02 Allowable Uses.

Commercial Use	Any Principal Use in Commercial Uses Category	See Sec. XXXX
Light Industrial Uses or Cottage Industries	Principal Use in Industrial Uses Category	See Sec. XXXX

### 4.18.03 Allowable Frontage Types.

Storefront*	See Sec. 4.37
Terrace	See Sec. 4.35

\*Storefront frontage only applies to customer-focused areas and/or primary entryways along building façade. Garage doors are an expected and integral element of this Building Type.

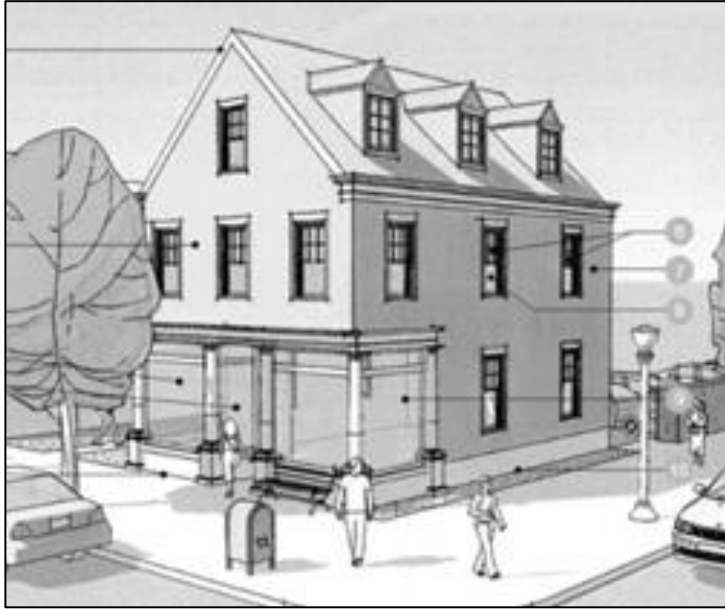
### 4.18.04 Regulations.

Building Features	At least 1 garage door required, to emulate an “industrial” or “workshop” function
Building Footprint	3,000 sq ft max.
Building Foundation	Any foundation greater than 2 feet in height shall be parged
Building Height	24 ft max. 1 story max.
Building Orientation	Entrance(s) must face the street
Building Role	Principal only

### 4.18.05 Architectural Guidelines.

Exterior Materials	Brick, stone and/or masonry encouraged
Fenestration	Should be at least 30% along primary façade, inclusive of garage door(s) Any other façade which directly fronts upon a street should, in the absence of fenestration/glazing, alleviate the appearance of large blank walls through articulation, faux windows, or other architecturally creative means to add visual interest
Roof Pitch	Should be generally flat

## 4.19 Building Type: Mixed Use Building, Small



**4.19.01 Description.** A Small Mixed Use Building is a structure intended to provide pedestrian-oriented retail and services on the ground floor. This Building Type is distinguished from the Shop in that it consists of at least two stories, and is distinguished from a General Purpose Building by providing storefronts along its primary façade facing the street. Such buildings can contain commercial uses (e.g., offices) and/or up to three dwelling units on the upper floors.

### 4.19.02 Allowable Uses.

Single-Unit Dwelling	Principal Use in Residential Uses Category	See Sec. XXXX
Two-Unit Dwelling	Principal Use in Residential Uses Category	See Sec. XXXX
Commercial Use	Any Principal Use in Commercial Uses Category	See Sec. XXXX
Public or Institutional Use	Any Principal Use in Public & Institutional Uses Category	See Sec. XXXX

### 4.19.03 Allowable Frontage Types.

Storefront*	*Storefront required on primary facade	See Sec. 4.37
Terrace		See Sec. 4.35

### 4.19.04 Regulations.

Building Footprint	5,000 sq ft max.
Building Foundation	Any concrete foundation greater than 2 feet in height shall be parged
Building Height	35 ft max. 2 stories min. / 2.5 stories max.
Building Orientation	Primary entrance(s) must face the street
Building Role	Principal only

### 4.19.05 Architectural Guidelines.

Exterior Materials	Brick, stone and/or masonry encouraged
Fenestration	Should be at least 50% for ground floor on primary façade Should be at least 25% for upper stories on primary façade Any other façade which directly fronts upon a street should, in the absence of fenestration/glazing, alleviate the appearance of large blank walls through articulation, faux windows, or other architecturally creative means to add visual interest
Roof Pitch	Should either be generally flat, or somewhere in the 4:12 to 12:12 range
Windows	Any windows other than storefront windows should be vertically proportioned

## 4.20 Building Type: General Purpose Building



**4.20.01 Description.** A General Purpose Building is a flexible commercial structure capable of accommodating a variety of uses such as offices, services, retail, or community functions. Its form is adaptable, with façades designed to engage the street. This Building Type is distinguished from Small and Large Mixed Use Buildings in that the structure need not be required to have a commercial storefront presence along the block.

### 4.20.02 Allowable Uses.

Commercial Use	Any Principal Use in Commercial Uses Category	See Sec. XXXX
Public or Institutional Use	Any Principal Use in Public & Institutional Uses Category	See Sec. XXXX

### 4.20.03 Allowable Frontage Types.

Door Surround	See Sec. 4.30	Stoop	See Sec. 4.31
Lobby	See Sec. 4.36	Storefront	See Sec. 4.37
Porch	See Sec. 4.32	Terrace	See Sec. 4.35

### 4.20.04 Regulations.

Building Footprint	5,000 sq ft max.
Building Foundation	Any concrete foundation greater than 2 feet in height shall be parged
Building Height	35 ft max. 3 stories max.
Building Orientation	Primary entrance(s) must face the street
Building Role	Principal only

### 4.20.05 Architectural Guidelines.

Exterior Materials	Brick, stone and/or masonry encouraged
Fenestration	Should be at least 25% on primary façade(s) Any other façade which directly fronts upon a street should, in the absence of fenestration/glazing, alleviate the appearance of large blank walls through articulation, faux windows, or other architecturally creative means to add visual interest
Roof Pitch	Main roof should either be generally flat, or somewhere in the 4:12 to 12:12 range
Windows	Should be vertically proportioned Should have defined trim and/or “punched through” appearance

## 4.21 Building Type: Theater



**4.21.01 Description.** A Theater is a specialized building type designed to host performances, film, or assembly. It features a large internal volume for an audience chamber, often fronted by a lobby with a distinct street presence. Theater façades may be more expressive than typical buildings, serving as focal points within a district.

### 4.21.02 Allowable Uses.

Assembly/Banquet Halls	Principal Use in Commercial Uses Category	See Sec. XXXX
Micro-breweries, micro-distilleries, or micro-wineries	Principal Use in Commercial Uses Category	See Sec. XXXX
Recreational Facility, Indoor	Principal Use in Commercial Uses Category	See Sec. XXXX
Theater	Principal Use in Commercial Uses Category	See Sec. XXXX

### 4.21.03 Allowable Frontage Types.

Gallery, Lower	See Sec. 4.38	Marquee	See Sec. 4.39
Lobby	See Sec. 4.36	Storefront	See Sec. 4.37

### 4.21.04 Regulations.

Building Footprint	10,000 sq ft max.
Building Foundation	Any concrete foundation greater than 2 feet in height shall be parged
Building Height	35 ft max. 2 stories max.
Building Orientation	Primary entrance(s) must face the street
Building Role	Principal only

### 4.21.05 Architectural Guidelines.

Exterior Materials	Brick, stone and/or masonry encouraged
Fenestration	May be minimal (blank or articulated facades) Higher degree of fenestration/glazing expected if building design includes storefronts
Roof Pitch	Should be generally flat
Windows	Should be vertically proportioned Should have defined trim and/or “punched through” appearance

## 4.22 Building Type: Hotel, Neighborhood-Scale



**4.22.01 Description.** A Neighborhood-Scale Hotel is a smaller lodging facility intended to serve visitors within a walkable district. Typically designed to resemble large residential or mixed-use buildings, it maintains compatibility with surrounding neighborhood character while providing guest rooms and modest amenities. Entrances and lobbies are oriented towards the street, with limited parking provided at the rear or side.

### 4.22.02 Allowable Uses.

Hotel*	Principal Use in Commercial Uses Category	See Sec. XXXX
Bars, Brewpubs and Taverns	Principal Use in Commercial Uses Category	See Sec. XXXX
Offices, Professional	Principal Use in Commercial Uses Category	See Sec. XXXX
Restaurants	Principal Use in Commercial Uses Category	See Sec. XXXX
Retail Stores	Principal Use in Commercial Uses Category	See Sec. XXXX

\*Mandatory principal use within Building Type.

### 4.22.03 Allowable Frontage Types.

Door Surround	See Sec. 4.30	Forecourt	See Sec. 4.34
Gallery, Lower	See Sec. 4.38	Porch	See Sec. 4.32
Gallery, Upper	See Sec. 4.33	Terrace	See Sec. 4.35

### 4.22.04 Regulations.

Building Footprint	12,000 sq ft max.
Building Foundation	Any concrete foundation greater than 2 feet in height shall be parged
Building Height	35 ft max. 2.5 stories max.
Building Orientation	Primary entrance(s) must face the street
Building Role	Principal only

### 4.22.05 Architectural Guidelines.

Exterior Materials	Brick, stone and/or masonry encouraged
Fenestration	Should be at least 25% on primary façade(s) facing street
Roof Pitch	Main roof pitch should be somewhere in the 6:12 to 12:12 range
Windows	Should be vertically proportioned Should have defined trim and/or “punched through” appearance

## 4.23 Building Type: Hotel, Urban-Scale



**4.23.01 Description.** An Urban-Scale Hotel is a larger lodging facility designed for higher guest capacity and expanded amenities such as conference rooms, dining, or ground-floor commercial space. Its form is urban in character, with articulated façades and one or more entrances contributing to an active street frontage.

### 4.23.02 Allowable Uses.

Hotel*	Principal Use in Commercial Uses Category	See Sec. XXXX
Bars, Brewpubs and Taverns	Principal Use in Commercial Uses Category	See Sec. XXXX
Convenience Stores	Principal Use in Commercial Uses Category	See Sec. XXXX
Offices, Professional	Principal Use in Commercial Uses Category	See Sec. XXXX
Restaurants	Principal Use in Commercial Uses Category	See Sec. XXXX
Retail Stores	Principal Use in Commercial Uses Category	See Sec. XXXX

\*Mandatory principal use for at least 60% of overall floor area. Remaining 40% may be devoted to other principal uses.

### 4.23.03 Allowable Frontage Types.

Arcade	See Sec. 4.41	Marquee	See Sec. 4.39
Gallery, Lower	See Sec. 4.38	Storefront	See Sec. 4.37
Lobby	See Sec. 4.36	Terrace	See Sec. 4.35

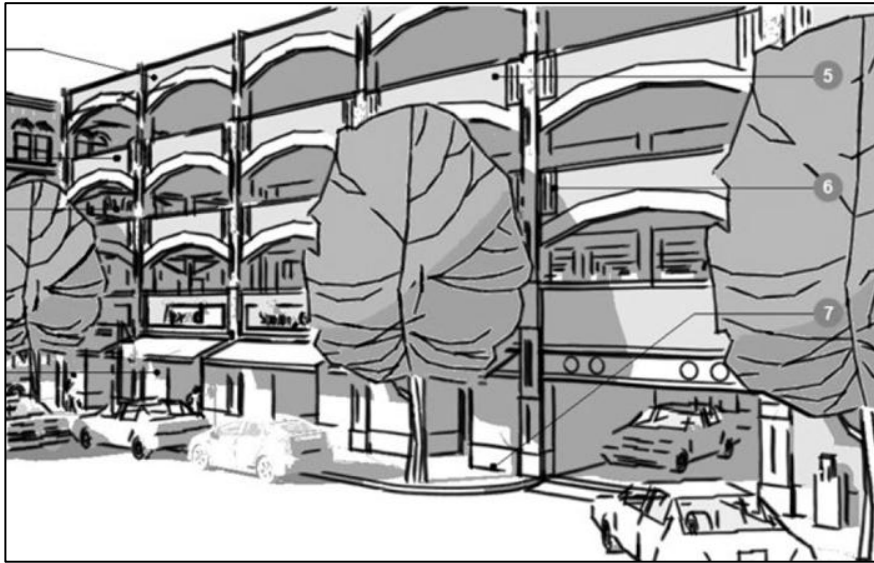
### 4.23.04 Regulations.

Building Footprint	20,000 sq ft max.
Building Height	48 ft max. 4 stories max.
Building Orientation	Primary entrance must face the street
Building Role	Principal only

### 4.23.05 Architectural Guidelines.

Exterior Materials	Brick, stone and/or masonry encouraged
Fenestration	Should be at least 25% on primary façade facing street
Roof Pitch	Should be generally flat
Windows	Any windows other than storefront windows should be vertically proportioned

## 4.24 Building Type: Parking Garage, Active Frontage



**4.24.01 Description.** A Parking Garage with Active Frontage is a multi-level parking structure designed so that its ground-floor street edge is occupied by retail, service, or other active uses. Vehicular access is minimized along primary frontages to preserve a pedestrian-oriented character.

### 4.24.02 Allowable Uses.

Parking Lots or Garages*	Principal Use in Commercial Uses Category	See Sec. XXXX
Bars, Brewpubs and Taverns	Principal Use in Commercial Uses Category	See Sec. XXXX
Convenience Stores	Principal Use in Commercial Uses Category	See Sec. XXXX
Gaming Facility, Limited	Principal Use in Commercial Uses Category	See Sec. XXXX
Financial Institutions	Principal Use in Commercial Uses Category	See Sec. XXXX
Restaurants	Principal Use in Commercial Uses Category	See Sec. XXXX
Restaurants, Walk Up	Principal Use in Commercial Uses Category	See Sec. XXXX
Retail Stores	Principal Use in Commercial Uses Category	See Sec. XXXX

\*Mandatory principal use within Building Type.

### 4.24.03 Allowable Frontage Types.

Storefront*	*Storefront required on primary facade	See Sec. 4.37
Terrace		See Sec. 4.35

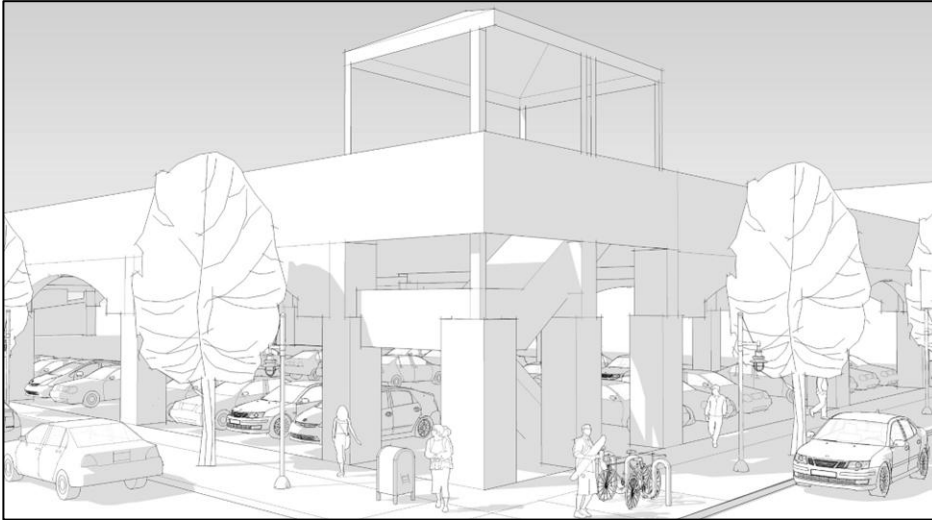
### 4.24.04 Regulations.

Building Footprint	30,000 sq ft max.
Building Foundation	Any concrete foundation greater than 2 feet in height shall be parged
Building Height	48 ft max. 4 stories max.
Building Orientation	Ground-level tenant entrances must face the street
Building Role	Principal only

### 4.24.05 Architectural Guidelines.

Exterior Materials	Brick, stone and/or masonry encouraged
Fenestration	Any other façade which directly fronts upon a street should, in the absence of fenestration, alleviate the appearance of large blank walls through articulation or other architecturally creative means to add visual interest

## 4.25 Building Type: Parking Garage, Standard



**4.25.01 Description.** A Standard Parking Garage is a multi-level parking structure designed primarily for vehicle storage. It has limited architectural articulation and typically provides vehicle access from side or secondary streets. Where possible, façades should be screened or wrapped with design elements to reduce or soften visual impact.

### 4.25.02 Allowable Uses.

Parking Lots or Garages	Principal Use in Commercial Uses Category	See Sec. XXXX
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### 4.25.03 Allowable Frontage Types.

No specific Frontage Type is required.

### 4.25.04 Regulations.

Building Footprint	30,000 sq ft max.
Building Height	48 ft max.
	4 stories max.
Building Role	Principal or Accessory

### 4.25.05 Architectural Guidelines.

Exterior Materials	Brick, stone and/or masonry encouraged
Fenestration	Any other façade which directly fronts upon a street should, in the absence of fenestration, alleviate the appearance of large blank walls through articulation or other architecturally creative means to add visual interest

## 4.26 Building Type: Mixed Use Building, Large



**4.26.01 Description.** A Large Mixed Use Building is a substantial multi-story structure that combines ground-floor commercial space with upper-story residential or office uses. It emphasizes street-facing storefronts, frequent entrances, and a scale appropriate to downtown or corridor settings. Residential entries are typically distinguished from commercial entries to reinforce a lively streetscape.

### 4.26.02 Allowable Uses.

Single-Unit Dwelling	Principal Use in Residential Uses Category	See Sec. XXXX
Two-Unit Dwelling	Principal Use in Residential Uses Category	See Sec. XXXX
Three-Unit Dwelling	Principal Use in Residential Uses Category	See Sec. XXXX
Multi-Unit Dwelling	Principal Use in Residential Uses Category	See Sec. XXXX
Commercial Use	Any Principal Use in Commercial Uses Category	See Sec. XXXX
Public or Institutional Use	Any Principal Use in Public & Institutional Uses Category	See Sec. XXXX

### 4.26.03 Allowable Frontage Types.

Arcade	See Sec. 4.41	Storefront*	*Required on primary facade	See Sec. 4.37
Gallery, Lower	See Sec. 4.38	Terrace		See Sec. 4.35

### 4.26.04 Regulations.

Building Footprint	20,000 sq ft
Building Foundation	Any foundation greater than 2 feet in height shall be parged
Building Height	48 ft max. 4 stories max.
Building Orientation	Primary entrance(s) must face the street
Building Role	Principal or Accessory

### 4.26.05 Architectural Guidelines.

Exterior Materials	Brick, stone and/or masonry encouraged
Fenestration	Should be at least 60% for ground floor on primary façade Should be at least 25% for upper stories on primary façade
Roof Pitch	Should be generally flat, unless sloping elements are integral to architectural style
Windows	Any windows other than storefront windows should be vertically proportioned

## 4.27 Building Type: Landmark, Commercial



**4.27.01 Description.** A Commercial Landmark is a distinctive structure of exceptional architectural presence, intended for large footprint, high-visibility commercial retail uses. It may feature larger massing, unique form, or enhanced materials compared to typical mixed-use buildings. These buildings serve as anchoring focal points for business activity and community life.

### 4.27.02 Allowable Uses.

Retail Stores*	Principal Use in Commercial Uses Category	See Sec. XXXX
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\*A small counter-service café, restaurant, or coffee shop use may be provided when clearly incidental/accessory to a principal retail store.

### 4.27.03 Allowable Frontage Types.

Arcade	See Sec. 4.41	Gallery, Lower	See Sec. 4.38
Colonnade	See Sec. 4.40	Lobby	See Sec. 4.36
Door Surround	See Sec. 4.30	Storefront	See Sec. 4.37
Forecourt	See Sec. 4.34	Terrace	See Sec. 4.35

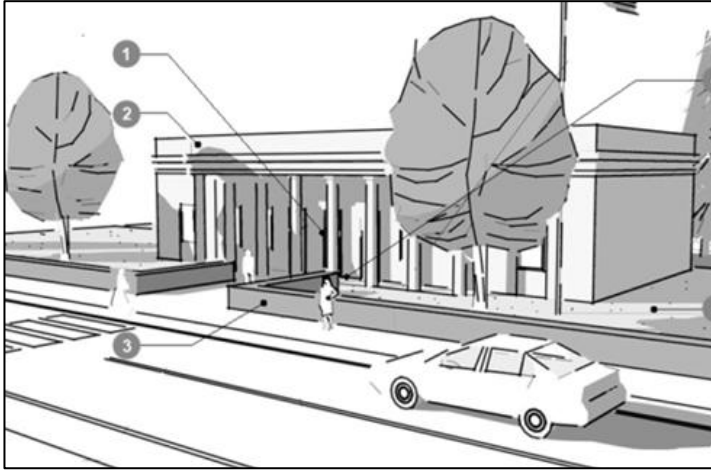
### 4.27.04 Regulations.

Building Footprint	20,000 sq ft max.
Building Foundation	Any concrete foundation greater than 2 feet in height shall be parged
Building Height	48 ft max. 4 stories max.
Building Orientation	Primary entrance must face the street
Building Role	Principal only

### 4.27.05 Architectural Guidelines.

Exterior Materials	Brick, stone and/or masonry encouraged
Fenestration	Should be at least 60% for ground floor on primary facade Should be at least 25% for upper floors on primary facade
Roof Pitch	Should be generally flat

## 4.28 Building Type: Landmark, Civic/Institutional



**4.28.01 Description.** A Civic/Institutional Landmark is a significant building dedicated to public, cultural, or religious functions, such as municipal halls, churches, libraries, or schools. It often occupies a prominent site and expresses its community role through distinctive architectural form, taller volumes, or iconic elements such as towers or steeples.

### 4.28.02 Allowable Uses.

Public or Institutional Use	Any Principal Use in Public & Institutional Uses Category	See Sec. XXXX
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### 4.28.03 Allowable Frontage Types.

Arcade	See Sec. 4.41	Gallery, Lower	See Sec. 4.38
Colonnade	See Sec. 4.40	Lobby	See Sec. 4.36
Door Surround	See Sec. 4.30	Terrace	See Sec. 4.35
Forecourt	See Sec. 4.34		

### 4.28.04 Regulations.

Building Footprint	30,000 sq ft max.
Building Height	48 ft max. 4 stories max.
Building Orientation	Primary entrance must face the street
Building Role	Principal only

### 4.28.05 Architectural Guidelines.

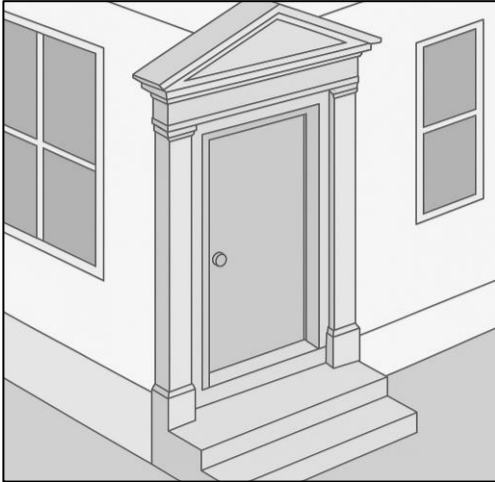
Exterior Materials	Brick, stone and/or masonry encouraged
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## 4.29 Schedule of Frontage Types

Building Types	Frontage Types											
	← More Residential ←											→ More Commercial →
	Door Surround	Stoop	Porch	Gallery, Upper	Forecourt	Terrace	Lobby	Storefront	Gallery, Lower	Marquee	Colonnade	Arcade
Cottage	P	P	P									
Carriage House	P*	P*										
Bungalow	P	P	P									
Bungalow Court	P	P	P									
House	P	P	P	P								
Duplex, Stacked	P	P	P	P								
Duplex, Side-by-Side	P	P	P	P								
Triplex	P	P	P	P								
Apartment House	P	P	P		P							
Apartment Building	P	P		P	P	P	P					
Rowhouse	P	P										
Large House	P	P	P	P								
Shop						P		P*				
Maker Space						P		P*				
Mixed Use Building, Small						P		P*				
General Purpose Building	P	P	P			P	P	P				
Theater							P	P	P	P		
Hotel, Neighborhood-Scale	P		P	P	P	P			P			
Hotel, Urban-Scale						P	P	P	P	P		P
Parking Garage, Active Frontage						P		P*				
Parking Garage, Standard	No specific Frontage Type listed above is required.											
Mixed Use Building, Large						P		P	P*			P
Landmark, Commercial	P				P	P	P	P	P		P	P
Landmark, Civic/Institutional	P				P	P	P		P		P	P

**KEY:** Shaded Cell = Prohibited    P Cell with P = Permitted    \* Special Rules apply. See Building Type standards.

### 4.30 Frontage Type: Door Surround

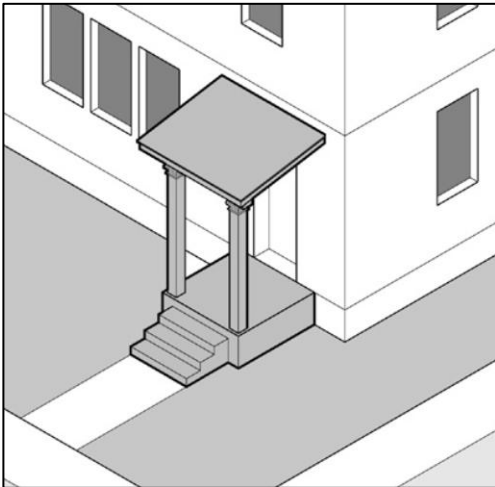


**4.30.01 Description.** A door surround consists of architectural moldings, trim, or other ornamental framing elements that accentuate a primary building entrance. Surrounds may incorporate pilasters, entablatures, transoms, or decorative panels to emphasize the entryway and add refinement to the building façade. While modest in scale, door surrounds contribute to pedestrian-level detail and help distinguish a building’s main access point.

**4.30.02 Regulations.**

Surround Width	6 inches min.
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### 4.31 Frontage Type: Stoop

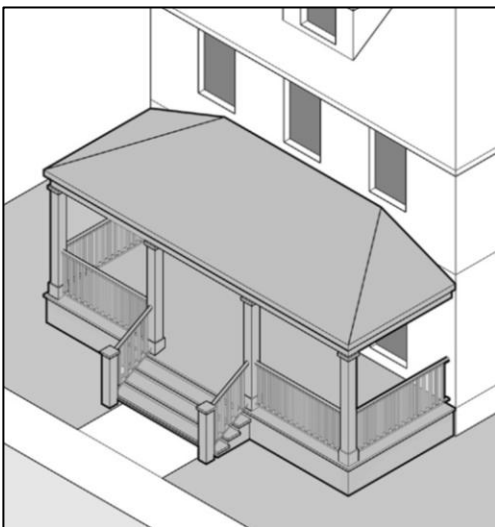


**4.31.01 Description.** A stoop is a small raised platform that serves as an entryway to a building, typically for residential uses with small setbacks. A stoop may be roofed or open to the sky, although a covered or recessed stoop is preferred to provide shelter from the elements.

**4.31.02 Regulations.**

Columns	None required, even if roof is provided If provided, must be 2 total
Footprint	25 sq ft max.
Roof	If provided, eave height shall not be elevated higher than first story

### 4.32 Frontage Type: Porch

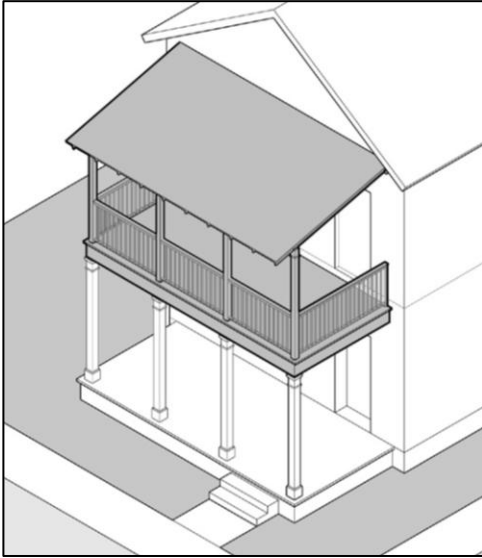


**4.32.01 Description.** A porch is a raised, roofed platform attached to a building to form an articulated entryway and semi-private social space. Porches may be projecting, or integral to a building façade.

**4.32.02 Regulations.**

Eave Height	Shall not be elevated higher than first story
Roof	Required Must either be flat, or have a 3:12 pitch min.

### 4.33 Frontage Type: Gallery, Upper

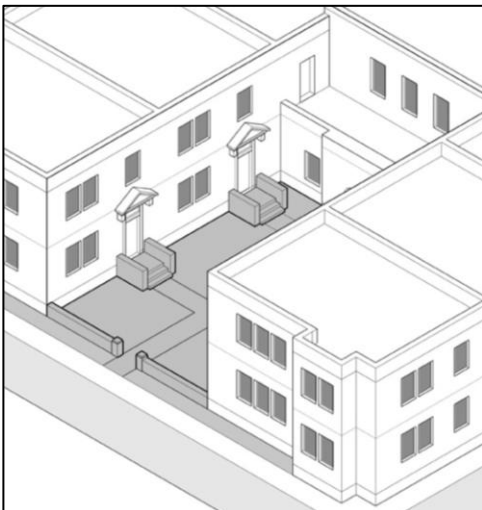


**4.33.01 Description.** An upper gallery is a raised platform that provides additional unenclosed space for upper floor uses, with access to the platform offered solely from the interior of the building. A gallery has a roof overhead, and may either be projecting or be integral to the architecture of a building.

**4.33.02 Regulations.**

Platform Number	2 max. (3 stories max. height)
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### 4.34 Frontage Type: Forecourt

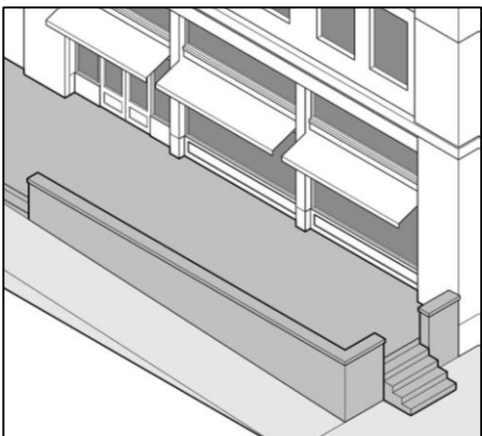


**4.34.01 Description.** A forecourt is a space open to the sky formed by a recess in the central portion of the building facade. Porches, stoops, and galleries may encroach into the forecourt.

**4.34.02 Regulations.**

Building Height	No more than double the Court Width
Court Depth	12 feet min. from front lot line at street
Court Width	12 feet min. between building walls

### 4.35 Frontage Type: Terrace



**4.35.01 Description.** A terrace offers a hard surface area, sometimes consisting of pavers or referred to as a patio, situated adjacent to a building and used for pedestrian access and circulation purposes. Terraces can provide a level surface next to a building, despite a change that may be experienced on the outer perimeter.

**4.35.02 Regulations.**

Depth	10 feet min.
Outer Wall Height	4 feet max.

### 4.36 Frontage Type: Lobby



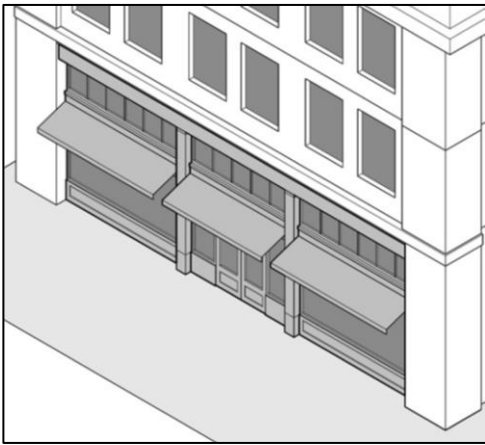
**4.36.01 Description.** A Lobby Frontage is characterized by a primary building entrance oriented to the street, typically serving multi-unit residential, hotel, or office buildings. Unlike a Storefront, the ground floor includes a prominent doorway and windows but does not rely on extensive glazing for retail or service display. Transparency is provided through windows, sidelights, or vestibule areas that allow visibility into the building while maintaining a more formal, institutional, or residential character.

**4.36.02 Regulations.**

Window Sill Height      3 feet min.

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**4.37 Frontage Type: Storefront**



**4.37.01 Description.** A storefront typically is utilized for commercial service-related uses, such as retail or restaurants. Storefronts feature a primary entrance at grade and incorporate substantial windows at the sidewalk level for the display of goods, services, and signs. Canopies or awnings are encouraged to provide shade and protection from the elements.

**4.37.02 Regulations.**

Sill Height      3 feet min.

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**4.38 Frontage Type: Gallery, Lower**



**4.38.01 Description.** A lower gallery is an area covered by a flat overhead roof situated over a pedestrian walkway, allowing for covered circulation. A gallery is typically longer in length than a porch, and its overhead roof is always flat. Unlike an arcade, a gallery does not have enclosed or finished building space situated directly overhead, though an open-air balcony may be provided.

**4.38.02 Regulations.**

Roof Pitch      Flat, except for any ornamentation

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**4.39 Frontage Type: Marquee**



**4.39.01 Description.** A marquee is a permanent roof-like projection, typically constructed of metal and glass, that extends over a primary building entrance and sidewalk. It provides shelter from the elements while emphasizing the prominence of the entry. Often illuminated or incorporating signage, marquees are common for theaters, hotels, and other public-facing commercial uses.

**4.39.02 Regulations.**

Signage	See Chapter XXXX
Support Columns	None required
	If provided, must be 2 total

**4.40 Frontage Type: Colonnade**

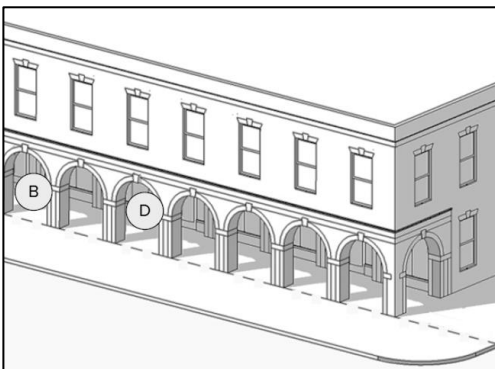


**4.40.01 Description.** A colonnade is a linear arrangement of columns supporting a roof projection or entablature, forming a covered walkway directly adjacent to the building façade. Colonnades provide a degree of shade, weather protection, and a rhythm of vertical elements that reinforce pedestrian scale. A colonnade is taller than an upper gallery and does not offer a balcony overhead.

**4.40.02 Regulations.**

Column Height	2 stories min.
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**4.41 Frontage Type: Arcade**



**4.41.01 Description.** An arcade is a specific type of colonnade which creates a covered pedestrian passage along the front of a building, with enclosed or finished building space situated directly above the passage. The arcade maintains a continuous line of support columns, typically at the sidewalk edge, while the recessed first floor building wall can accommodate entrances and/or storefronts.

**4.41.02 Guidelines.**

Columns	Arches between columns preferred
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